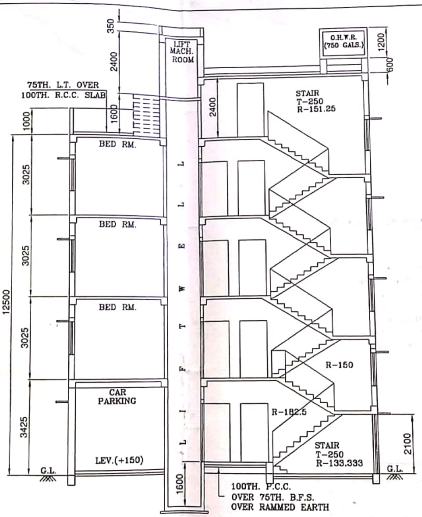
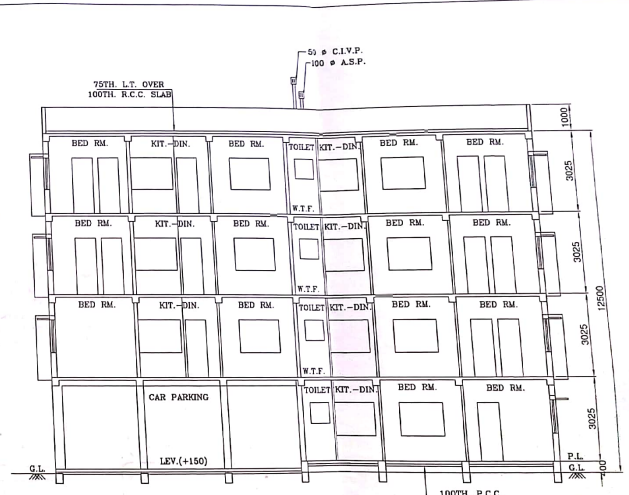


FRONT ELEVATION  
SCALE :-1:100



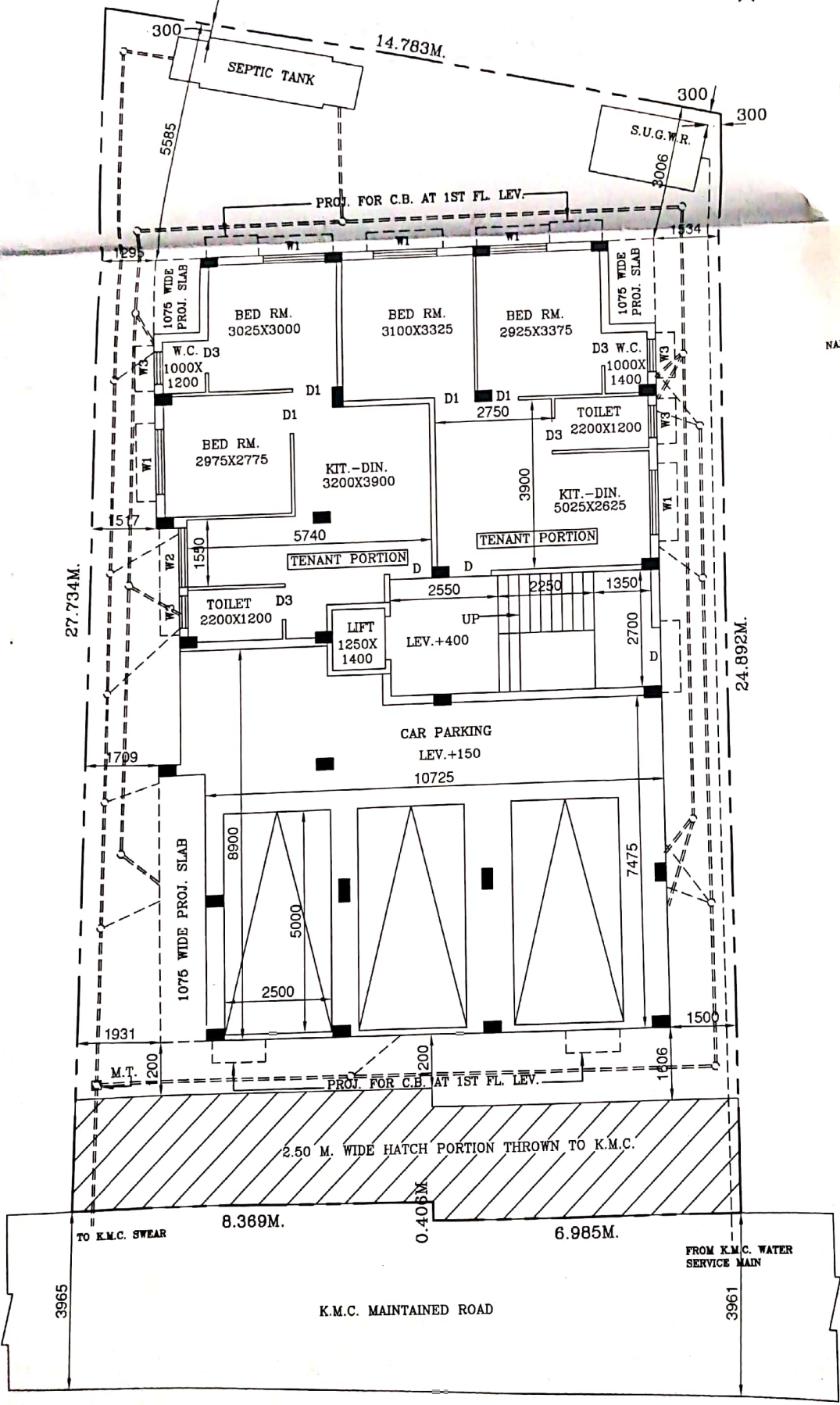
SECTION - A - A  
SCALE :-1:100



SECTION - B - B  
SCALE :-1:100

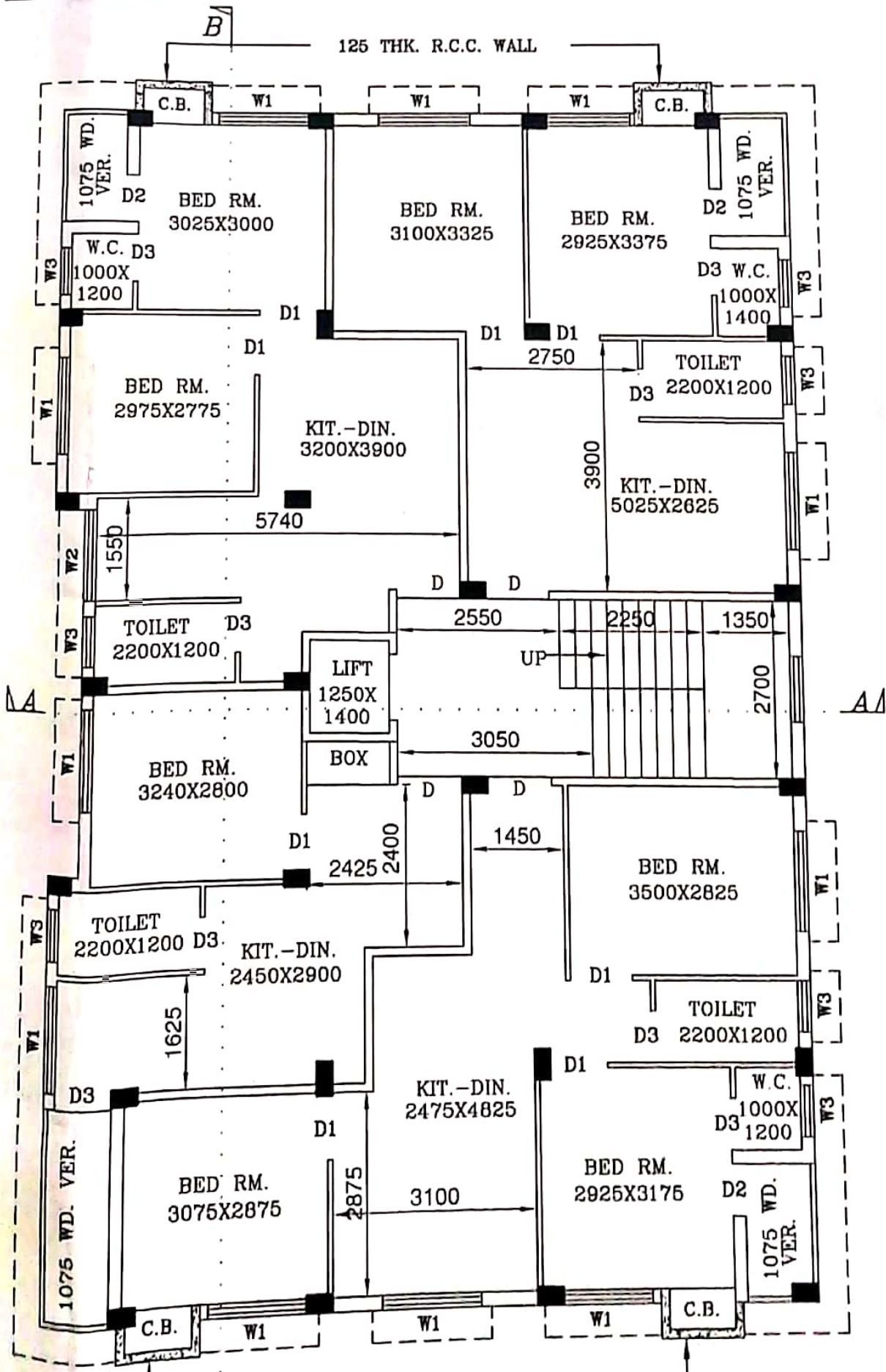
100TH P.C.C. OVER 75TH B.F.S. OVER RAMMED EARTH

DEPTH OF SEPTIC TANK & S.U.G.W.R. SHALL NOT EXCEED THE DEPTH OF NEAREST BUILDING FOUNDATION.

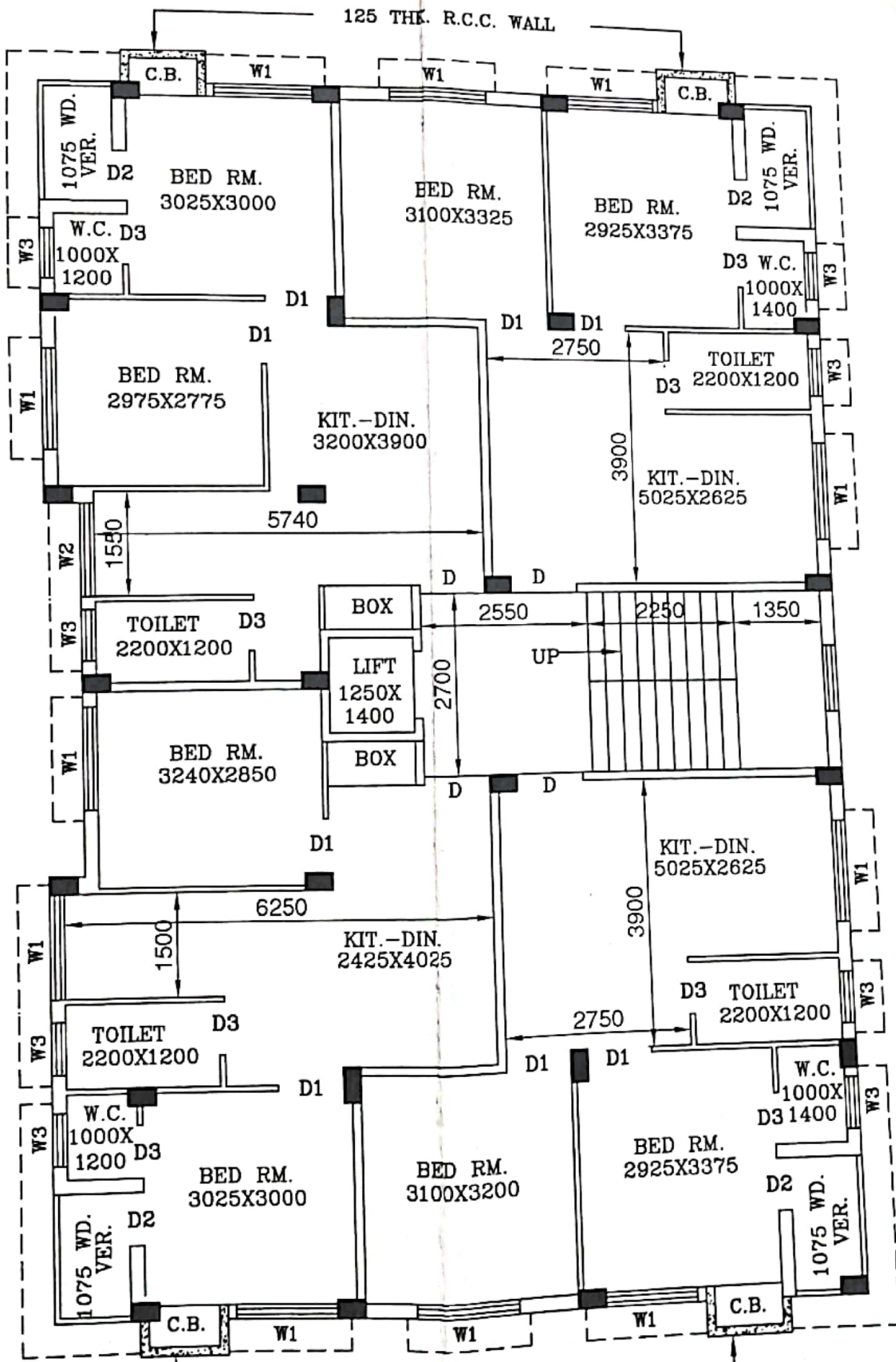


**GROUND FLOOR PLAN**  
SCALE :-1:100

SCALE :- 1:4000



125 THK. R.C.C. WALL  
**1ST. FLOOR PLAN**  
SCALE :- 1:100

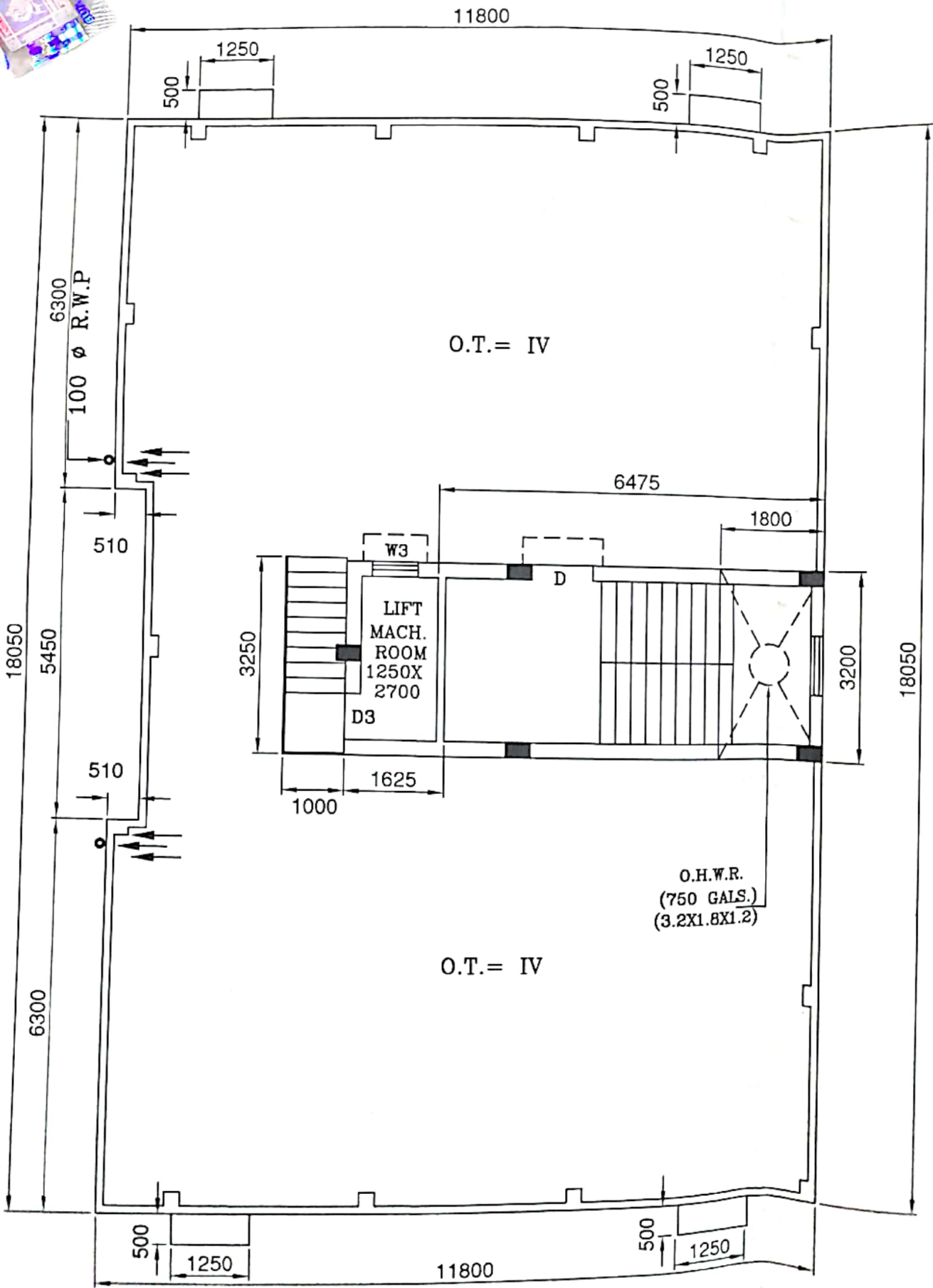


# 2ND & 3RD FLOOR PLAN

SCALE :- 1:100

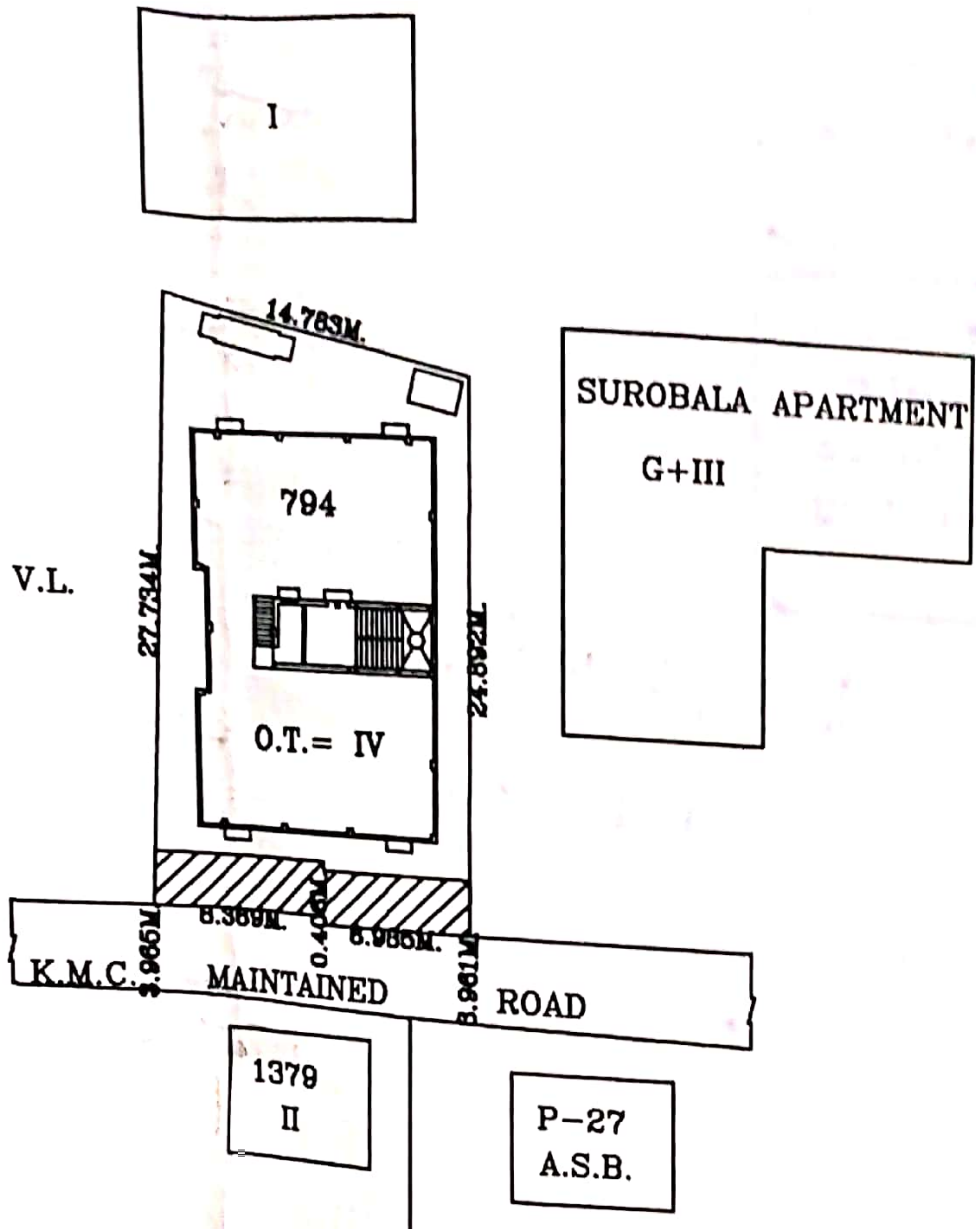
EXISTING STRUCTURE PLAN

SCALE :- 1:200

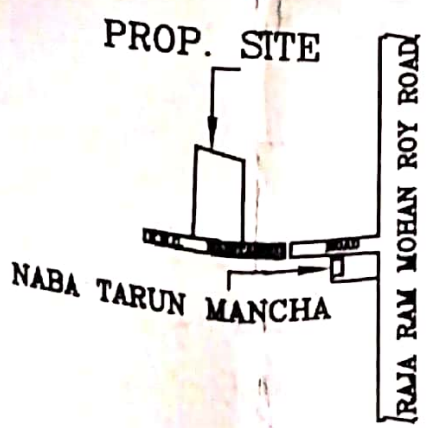


ROOF PLAN

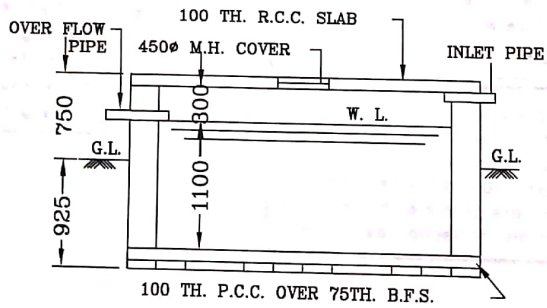
SCALE :- 1:100



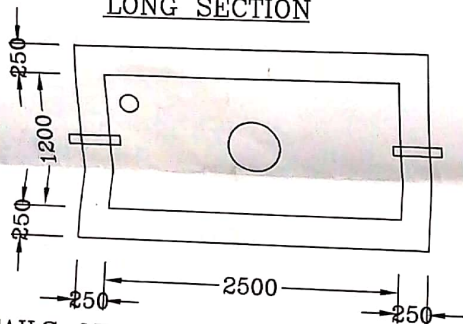
**SITE PLAN**  
**SCALE :-1:600**



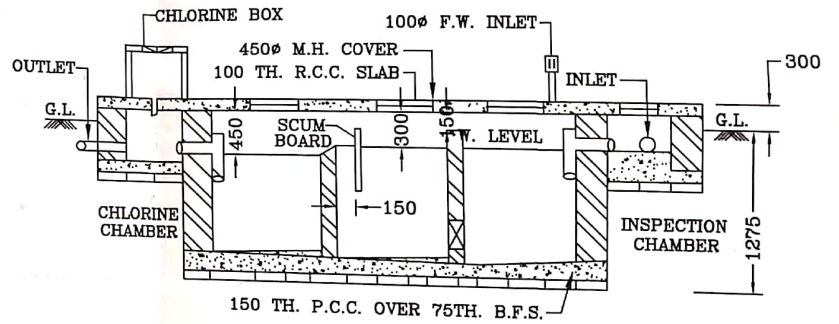
**KEY PLAN**  
**SCALE :-1:4000**



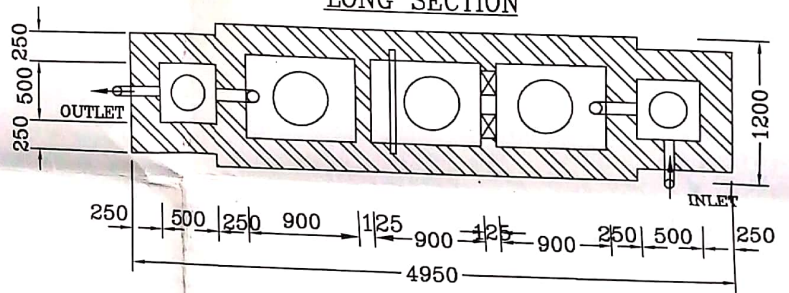
LONG SECTION



DETAILS OF S.U.W.R. (750 GALLONS)  
SCALE :- 1:50

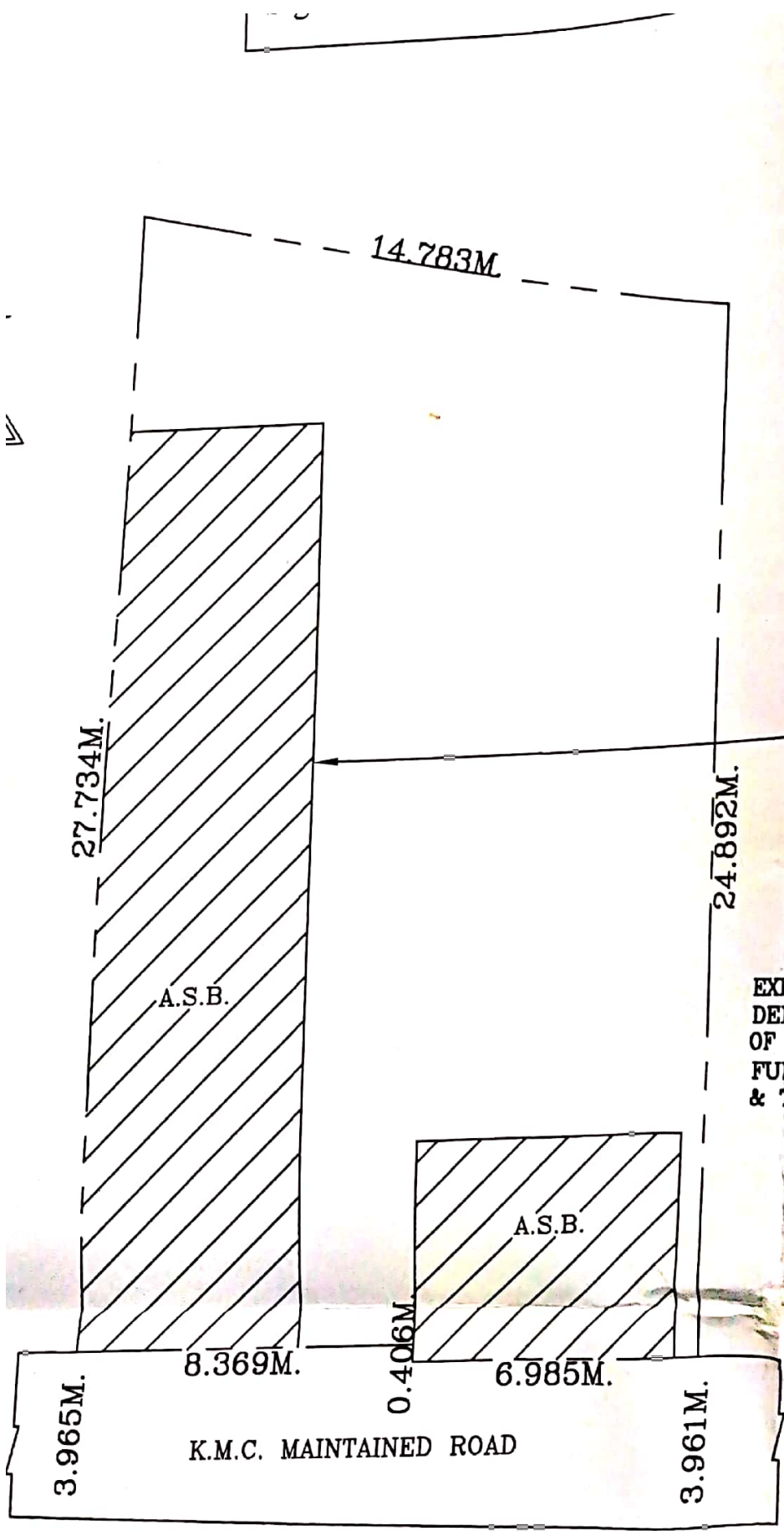


LONG SECTION



DETAILS OF SEPTIC TANK [50 USERS]  
SCALE :- 1:50

DOORS & WINDOWS	
MARKED	SIZE
D1	1000 X 2100
D2	900 X 2100
D3	750 X 2100
W1	1500 X 1200
W2	1000 X 1200
W3	750 X 750



EXISTING STRUCTURE TO BE  
 DEMOLISHED BEFORE STARTING  
 OF THE PROP. CONSTRUCTION &  
 FULLY OCCUPIED BY THE OWNER  
 & THERE IS A TWO TENANTS.



# CERTIFICATE

Pre. No.-794, RAJA RAM MOHAN ROY ROAD, WARD-121, BR.-XIV  
 Assessee No. : 41-121-14-1987-1  
 Name of Owner(s) / Applicant (s) : M/s. CITY ENTERPRISE  
 PROPRIETOR SRI JOYDEV SARKAR C.A. OF  
 SMT. TULTULI NANDI

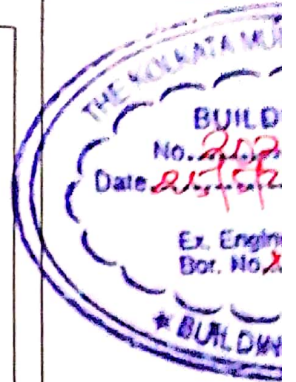
Area of land : 392.323 SQM.  
 Name of L.B.S./Architect No. : RAJU NASKAR LBS/I/1413  
Permissible Height in reference to CCZM issued by AAI :45M.  
 Co-ordinate in WGS 84 and site elevation (AMSL)

Reference points marked in the site plan of the proposal	Co-ordinate in WGS 84		Site Elevation (AMSL)
	Latitude	Longitude	
A	22°29'13.42"N	88°18'47.87"E	10.0 M.

The above information is true and correct in all respect and if at any stage, it is found otherwise, then I shall be fully liable for which KMC and other appropriate authority reserve the right to take appropriate action against me as per law.

*Joydev Sarkar*  
 M/s. CITY ENTERPRISE  
 PROPRIETOR SRI JOYDEV SARKAR C.A. OF  
 SMT. TULTULI NANDI  
 Sig. of Owner / Applicant

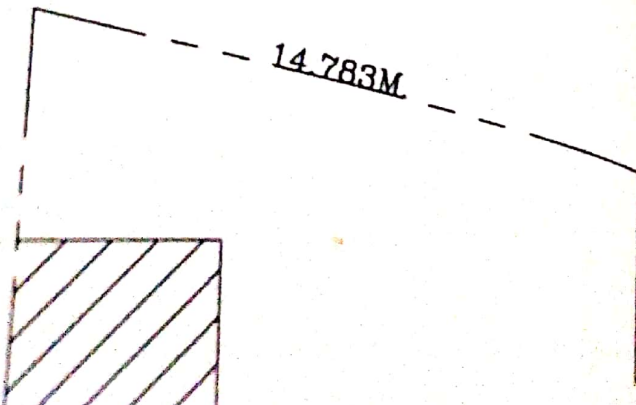
*Raju Naskar*  
 RAJU NASKAR  
 L.B.S.-1413(I)  
 Sig. of L.B.S.

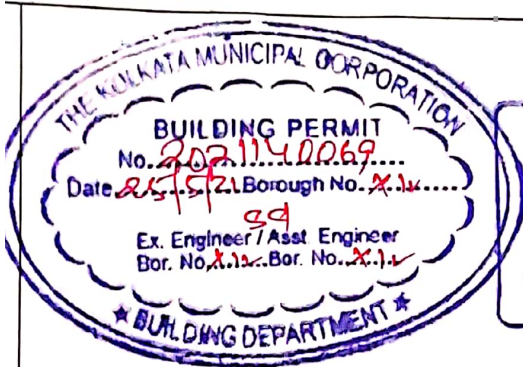


THE SANCT  
UP TO... 21

1. ASSESSE NO
- 2.A) DET. OF RE
  - i) BOOK NO.- I
  - ii) BEING NO.-021
  - iii) VOL. NO.- 50
  - iv) PAGES-60-79
  - v) YEAR-09/06/ D.S.R. II ALIP
- C) DET. OF REC B.DECL.:-
  - i) BOOK NO.- I
  - ii) BEING NO.-160
  - iii) VOL. NO.-160
  - iv) PAGES-34168
  - v) YEAR-18/12/ A.D.S.R. BEHA
- E) DET. OF REC STRIP DECL.:-
  - i) BOOK NO.- I
  - ii) BEING NO.-160
  - iii) VOL. NO.-160
  - iv) PAGES-34170
  - v) YEAR-18/12/ A.D.S.R. BEHA
- 3.a) AREA OF (AS PER DEI
- b) AREA OF (AS PER
4. NO. OF ST
5. NO. OF TE
6. SIZE OF TE
  - < 50
  - > 50

DOORS & WINDOWS	
MARKED	SIZE
D1	1000 X 2100
D2	900 X 2100
D3	750 X 2100
W1	1500 X 1200
W2	1000 X 1200
W3	750 X 750





Sanctioned subject to demolition of existing structure to provide open space as per plan before construction is started

Executive Engineer (C)  
BR. X12

Asst. Engineer (C)  
Br. PLAN X14

THE SANCTION IS VALID UP TO 21.1.2026.

APPROVED  
ASSISTANT ENGINEER (C)  
BOROUGH NO. - X1

SPACES FOR SEAL

STATEMENT OF THE PLAN PROPOSAL

<p>1. ASSESSE NO.- 41-121-14-1987-1</p> <p>2.A) DET. OF REG. DEED:-</p> <p>i) BOOK NO.- I</p> <p>ii) BEING NO.-02966</p> <p>iii) VOL. NO.- 58</p> <p>iv) PAGES-80-79</p> <p>v) YEAR-09/06/2004 D.S.R. II ALIPORE</p> <p>C) DET. OF REG. B.DECL.:-</p> <p>i) BOOK NO.- I</p> <p>ii) BEING NO.-160709590</p> <p>iii) VOL. NO.-1607-2020</p> <p>iv) PAGES-341685-341701</p> <p>v) YEAR-18/12/2020 A.D.S.R. BEHALA</p> <p>E) DET. OF REG. STRIP DECL.:-</p> <p>i) BOOK NO.- I</p> <p>ii) BEING NO.-160709591</p> <p>iii) VOL. NO.-1607-2020</p> <p>iv) PAGES-341702-341719</p> <p>v) YEAR-18/12/2020 A.D.S.R. BEHALA</p> <p>3.a) AREA OF LAND = 434.783 SQM. (AS PER DEED) = (06K-08CH-00 SFT.)</p> <p>b) AREA OF LAND=392.323 SQM. (AS PER B/D) = (05K-13CH-38 SFT.)</p> <p>4. NO. OF STORIES = (G+III)</p> <p>5. NO. OF TENAMENT.- 14 NOS.</p> <p>6. SIZE OF TENAMENT.- &lt; 50 SQM. = 1 NO. &gt; 50 SQM. TO &lt; 75 SQM. = 13 NOS.</p>	<p>B) DET. OF REG. POWER OF ATTORNEY:-</p> <p>i) BOOK NO.- I</p> <p>ii) BEING NO.-160706381</p> <p>iii) VOL. NO.-1607-2019</p> <p>iv) PAGES-202405-202442</p> <p>v) YEAR-20/06/2019 A.D.S.R. BEHALA</p> <p>D) DET. OF REG. TENANT DECL.:-</p> <p>i) BOOK NO.- I</p> <p>ii) BEING NO.-160709592</p> <p>iii) VOL. NO.-1607-2020</p> <p>iv) PAGES-341888-341902</p> <p>v) YEAR-18/12/2020 A.D.S.R. BEHALA</p>	<p>1. GROUND COVERAGE</p> <p>a) PERMISSABLE= 210.242 SQM.(53.589%)</p> <p>b) CONSUMED= 210.213 SQM.(53.582%)</p> <p>2. F. A. R</p> <p>a) PERMISSIBLE :- 1.75</p> <p>b) CONSUMED :- 1.742</p> <p>3. COVERED AREA:-</p> <p>GROUND FLOOR AREA=199.651 SQM.</p> <p>1ST. FL. AREA= 208.463 SQM.</p> <p>2ND. FL. AREA= 208.463 SQM.</p> <p>3RD. FL. AREA= 208.463 SQM.</p> <p>4. TOTAL FLOOR AREA EXCLUDING THE EXEMPTED AREA IN THIS RULE- 758.620 SQM.</p> <p>5. TOTAL EXEMPTED AREA IN THIS RULE- 66.420 SQM.</p> <p>6. TOTAL FLOOR AREA INCLUDING THE EXEMPTED AREA IN THIS RULE- 825.040 SQM.</p> <p>7. CAR PARKING REQUIRED:- 3 NOS.</p> <p>8. CAR PARK. AREA PROVIDED=3 NOS.</p> <p>9. CAR PARK. AREA = 86.948 SQM.</p> <p>10. C.B. AREA:= 7.5 SQ.M.</p> <p>11. AREA OF S.H.R.= 20.72 SQM.</p> <p>12. AREA OF O.W.H.T.= 5.76 SQM.</p> <p>13. L.M.R. AREA = 8.45 SQM.</p>
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L.B.S. DECLARATION FORMAT

I CERTIFY WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN OF AS PER PROVISION OF K.M.C. BUILDING RULES 2009. THAT THE SITE CONDITIONS INCLUDING THE WIDTH OF THE ABUTTING K.M.C. ROAD CONFORM WITH THE PLAN AND THAT IT IS A BUILDABLE SITE NOT TANK OR FILLED UP TANK. THE BOUNDARY IS BOUNDED BY BOUNDARY WALLS. THE WIDTH OF ROAD HAS BEEN MEASURED AND VERIFIED BY ME AND FOUND 3.961 M. WIDE.

*Raju Naskar*

RAJU NASKAR  
L.B.S.-1413(I)

SIGNATURE OF L.B.S.

*Raju Naskar*

RAJU NASKAR  
L.B.S.-1413(I)

SIGNATURE OF L.B.S.

STRUCTURAL DECLARATION FORMAT

THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER THE N.B. CODE OF INDIA AND CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECTS.  
SOIL TESTING HAS BEEN DONE BY P.K. CHATTOPADHYAY OF M/S FOUNDATION NIRMAN OF 34, SATYEN ROY ROAD, KOLKATA-700 034.  
THE RECOMMENDATIONS OF SOIL TEST REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATIONS.

*Prabir Kumar Chattopadhyay*

PRABIR KUMAR CHATTOPADHYAY  
E.S.E.-196(I)

SIGNATURE OF STRUCTURAL ENGINEER

GEOTECHNICAL ENGINEER DECLARATION FORMAT

THE UNDERSIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE AND STABLE IN ALL RESPECT FROM THE GEOTECHNICAL POINT OF VIEW.

*Prabir Kumar Chattopadhyay*

PRABIR KUMAR CHATTOPADHYAY  
G.T./II/5

SIGNATURE OF GEOTECHNICAL ENGINEER

NOTES & SPECIFICATION

1. ALL DIMENSION ARE IN M.M. UNLESS OTHERWISE NOTED.
2. ALL OUTER WALLS ARE 200TH. IN C.M.-1:6 & PARTITION WALLS ARE 125TH. & 75TH. IN C.M.-1:4
3. GRADE OF STEEL Fe-415
4. GRADE OF CONCRETE.- M20
5. ALL MATERIALS & CONSTRUCTION SHALL BE AS PER I.S. CODE & N.B.S.
6. PROPORTION OF D.P.C :- 1:2:4 WITH CICO POWDER
7. DEPTH OF SEPTIC TANK & S.U.G.W.R. SHALL NOT EXCEED THE DEPTH OF NEAREST BUILDING FOUNDATION.
8. PROPORTION OF LIME TRACING:- 2:2:7

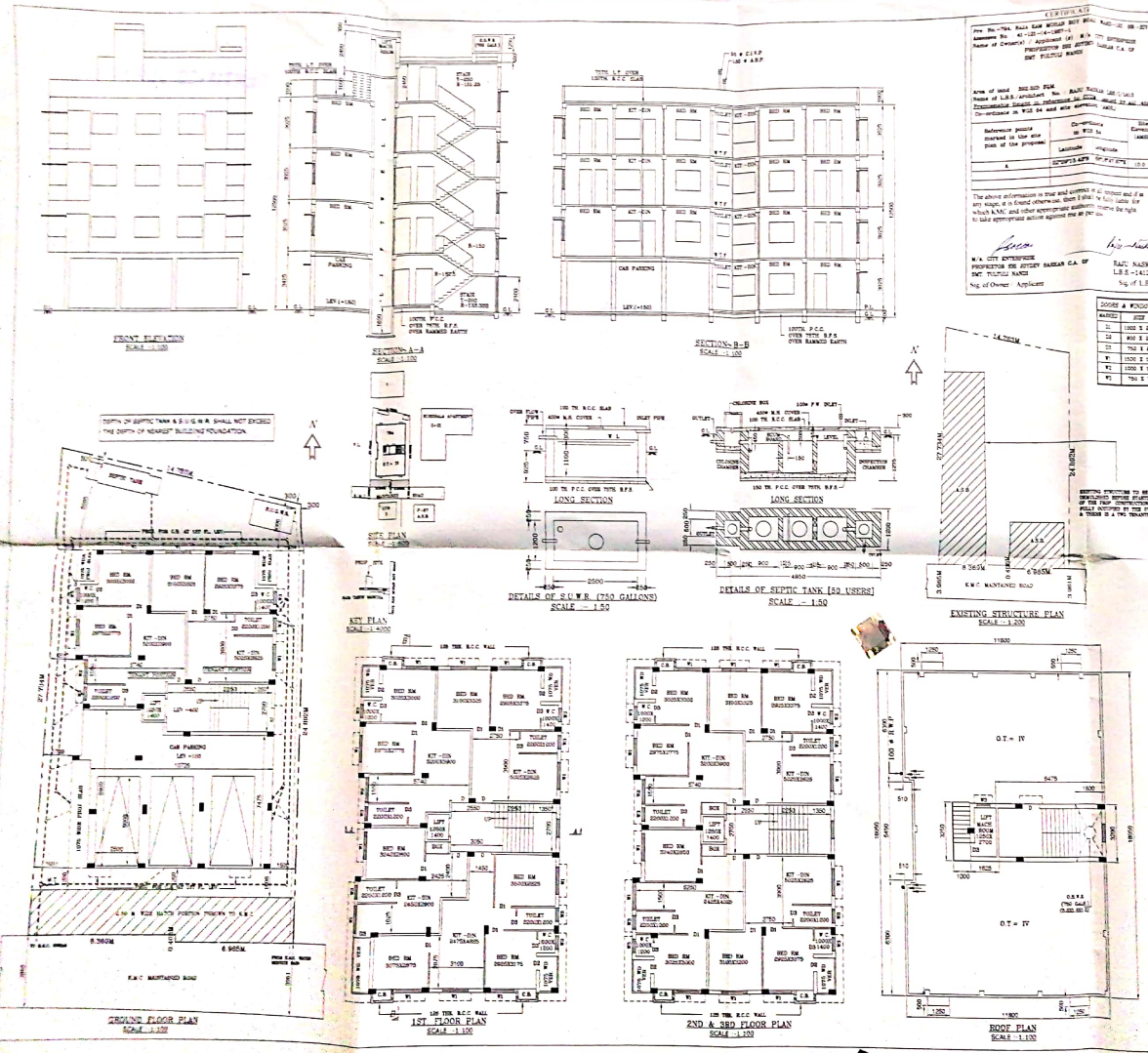
I/WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I/WE SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION. I/WE SHALL FOLLOW THE INSTRUCTIONS OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN) K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILTY OF THE BUILDING & ADJOINING STRUCTURES. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY WILL BE REVOKE THE SANCTION PLAN, THE CONSTRUCTION OF WATER RESERVOIR & SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF L.B.S./E.S.E. BEFORE STRARTING OF THE BUILDING FOUNDATION WORK.

*Smt. Tultuli Nandi*

M/s. CITY ENTERPRISE  
PROPRIETOR SRI JOYDEV SARKAR C.A. OF  
SMT. TULTULI NANDI  
SIGNATURE OF OWNER

PROPOSED PLAN OF (G+III) STORIED RESIDENTIAL BUILDING  
PLAN U/S-393(A) OF KMC BUILDING RULE 2009,  
AT PREMISES NO.-794, RAJA RAM MOHAN ROY ROAD,  
WARD NO.-121, BOROUGH-XIV, UNDER K.M.C. (S.S.UNIT).

OWNER-- SMT. TULTULI NANDI



**CERTIFICATE**

Prof. Mr. S. S. Bhat, P.E., has examined the plans and specifications of the proposed building and has found that the same conform to the requirements of the Building Act, 1947 and the rules thereunder in force in the State of Karnataka.

**PROF. S. S. BHAT**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 1000/10000  
 BANGALORE

DATE: 10/10/2024



**STATEMENT OF THE PLAN PROPOSAL**

Sl. No.	Particulars	Area (sq. ft.)
1	Area of Plot	10000
2	Area of Building	5000
3	Area of Road	1000
4	Area of Open Space	4000
5	Area of Parking	500
6	Area of Other Uses	0
7	Total Area	20500

**DECLARATION BY THE ARCHITECT**

I, the undersigned, being a duly qualified and registered Professional Engineer, do hereby certify that the plans and specifications of the proposed building have been prepared and submitted to the local authority for their approval, and that the same conform to the requirements of the Building Act, 1947 and the rules thereunder in force in the State of Karnataka.

**S. S. BHAT**  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 1000/10000  
 BANGALORE

**DECLARATION BY THE OWNER**

I, the undersigned, do hereby certify that the proposed building is intended for the purposes specified in the plans and specifications, and that the same conform to the requirements of the Building Act, 1947 and the rules thereunder in force in the State of Karnataka.

**RAJ. NAIKAR**  
 PROPRIETOR SRI JAYEENAR C.A.P.  
 No. 1000/10000  
 BANGALORE

**NOTES & SPECIFICATIONS**

- All dimensions are in mm unless otherwise stated.
- Concrete shall be of grade C-15.
- Steel shall be of grade Fe-250.
- Finish shall be as per the schedule of finishes.
- Water supply shall be as per the schedule of water supply.
- Sanitation shall be as per the schedule of sanitation.
- Electrical wiring shall be as per the schedule of electrical wiring.
- Painting shall be as per the schedule of painting.
- Roofing shall be as per the schedule of roofing.
- Partitions shall be as per the schedule of partitions.
- Doors and windows shall be as per the schedule of doors and windows.
- Staircases shall be as per the schedule of staircases.
- Lifts shall be as per the schedule of lifts.
- Other particulars shall be as per the schedule of other particulars.

**PROPOSED PLAN OF (G+2) STORED RESIDENTIAL BUILDING**

PLAN NO. 1000/10000 OF THE BUILDING, WITH 10000 SQ. FT. OF AREA, BANGALORE CITY, KARNATAKA.

DATE: 10/10/2024

**ARCHT. SRI S. S. BHAT**